

SQUIRE & PARTNERS

Newcombe House

Minor Material Amendments Update Presentation

May 2025

Content

- **Update to basements**
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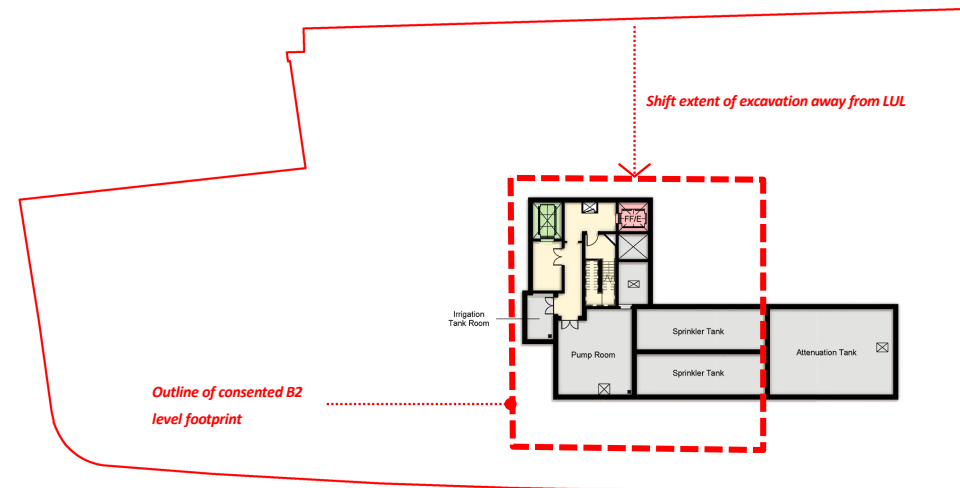
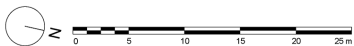
Update to Basements

1. Amendment to B2 level layout:

- Layout updated to improve basement construction and temporary works design, which includes reducing the extent of B2 level excavation near LUL.
- Uses at B2 level remain unchanged.



Consented Ground Floor plan



Revised Ground Floor plan

2. Amendment to B1 level layout:

-

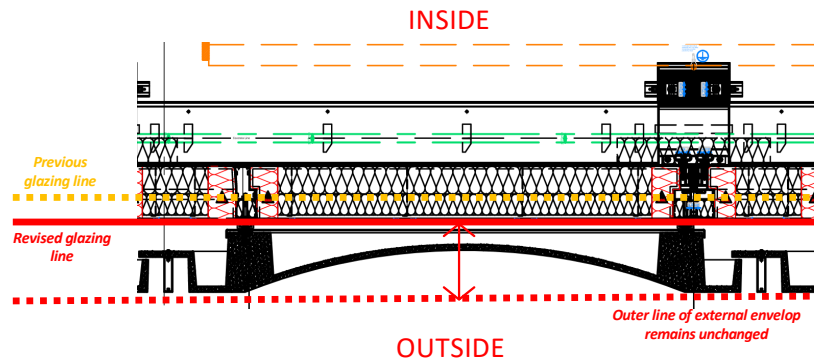
[illegible]

A diagram showing a circle with a radius line extending from the center to the circumference. To the right of the circle is a scale bar with markings at 0, 5, 10, 15, 20, and 25 m.

Newcombe House Tower Updates

1). Reduction to the façade depth to NCH tower

- Façade depth to the tower has been reduced to lighten the loading on the retained structure.
- Proportion and geometry, including scalloped profiling, are still maintained from the consented scheme – see imagery opposite.
- Expressed joints and datums remain unchanged.
- Reduction to façade depth has no impact on solar shading / energy performance to the office building.



Façade reference



Consented bay study

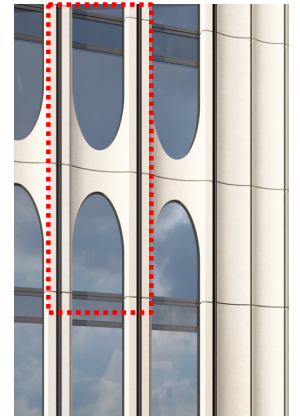


Revised proposal

Newcombe House Tower Updates



On-site mock-up of elliptical module



CGI bay study

Newcombe House Tower Updates

2). Update to glazed spandrel detail to suit technical detail:

- Technical development to the glazed spandrel panel to include dark coloured frit located behind glazing.
- Spandrel receives the same finish to match visible glazing, which ensure reflections remain consistent.
- Subtle horizontal expression strengthens the tower's 1960s architectural language within the wider NHG estate masterplan, including that of the neighbouring David Game House (see below).



Existing Newcombe House Tower and David Game House refurbished façade



Façade reference



Consented bay study



Revised proposal

Newcombe House Tower Updates

3). Revised door locations to Office Entrance:

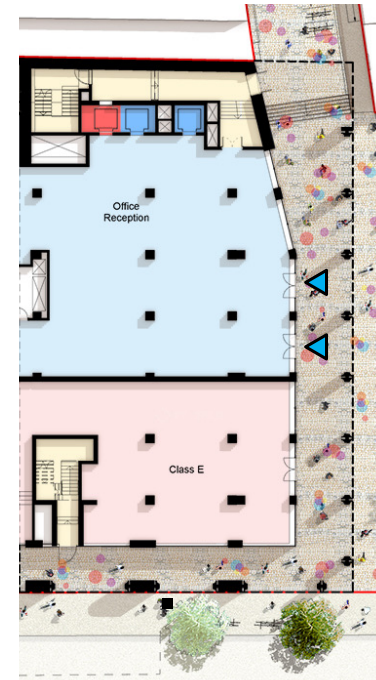
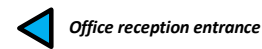
- Updated to suit optimised interior reception layouts.
- Refer to visual overleaf for proposed reception layout.



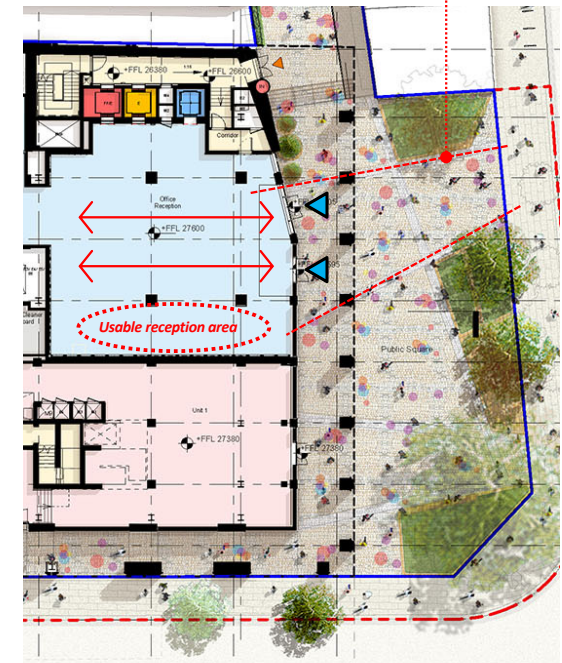
Consented north elevation



Revised proposal



Consented Ground Floor plan



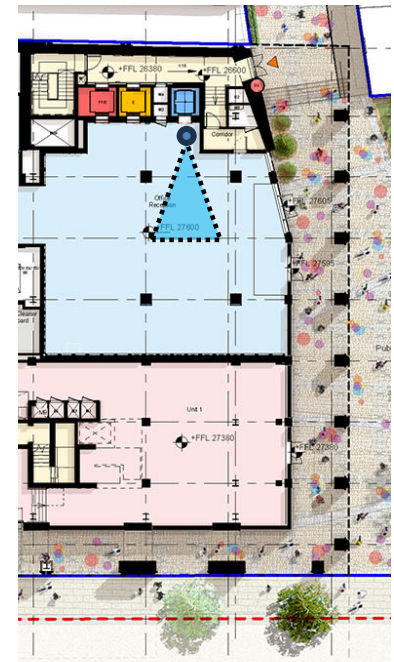
Revised Ground Floor plan

Door re-arrangement
Is centred on the opening
formed within the wider
landscaping proposal

Newcombe House Tower Updates



Proposed Visual to NCH Tower Office Reception

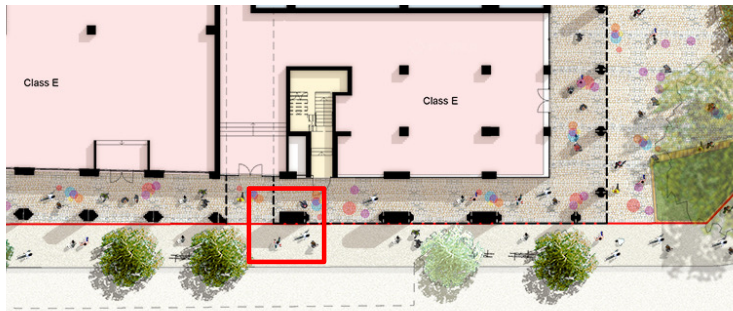


View location key plan

Newcombe House Tower Updates

4). Colonnade update to east elevation

- Developed structural strategy to improve colonnade symmetry and accessibility at grade.



Consented Ground Floor plan



Revised Ground Floor plan



Consented east elevation



Revised east elevation



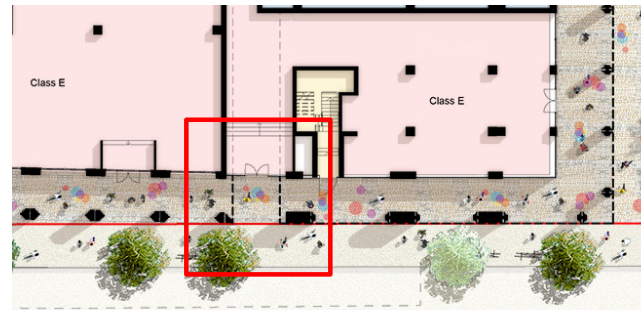
Newcombe House Tower Updates

5). Update to link elevation between KCS and NCH buildings:

- Updated to suit access into NCH retail unit and fire escape from NCH tower.
- Improved elevation at ground level that maximises activation of frontages.



Consented east elevation



Consented Ground Floor plan



Revised proposal



Revised Ground Floor plan



Consented CGI to link elevation

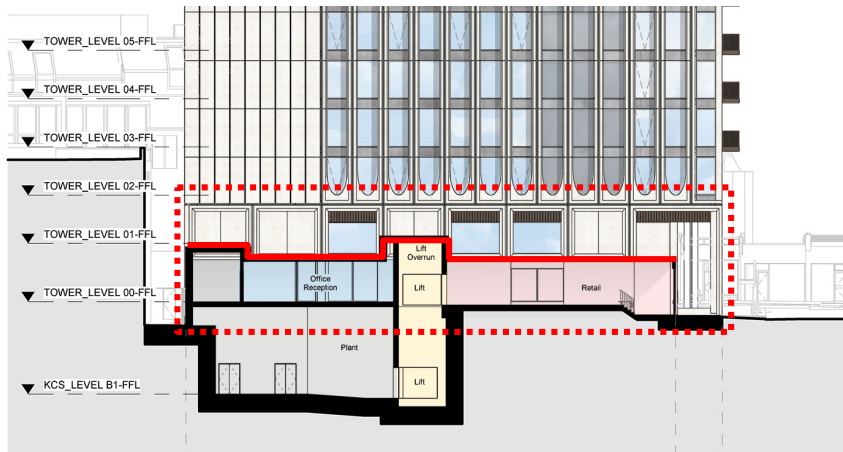
Newcombe House Tower Updates

6). Revised elevation to KCS and NT with improved roovescape to Link Building

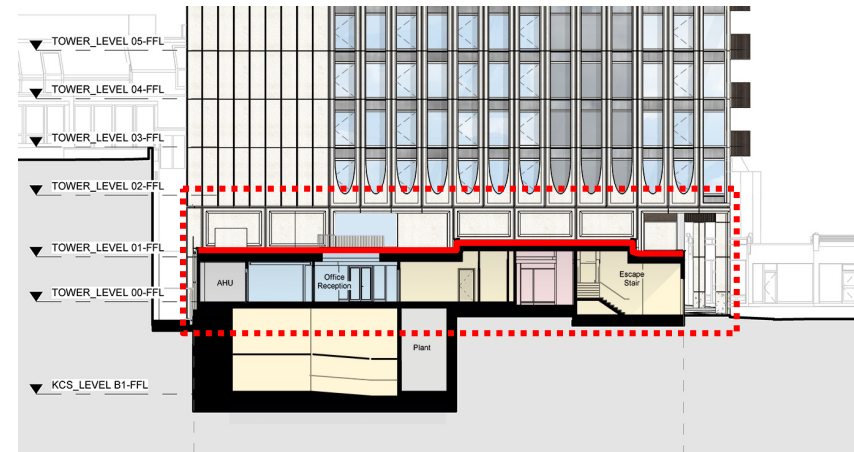
- Simplification of roof design with internal layout arrangement.
- Extent of glazing to roof developed with interior design intent.
- This affords the scheme to improve the roof profile to the Link Building and rationalise the façade design to Newcombe House Tower.



Office interior with proposed rooflight



Consented section through Link Building (roof profile in red)



Revised section through Link Building (roof profile in red)

Consented Scheme

Illustrative View from Notting Hill Gate



Revised Scheme

Illustrative View from Notting Hill Gate



Revised Scheme

Illustrative View from Notting Hill Gate



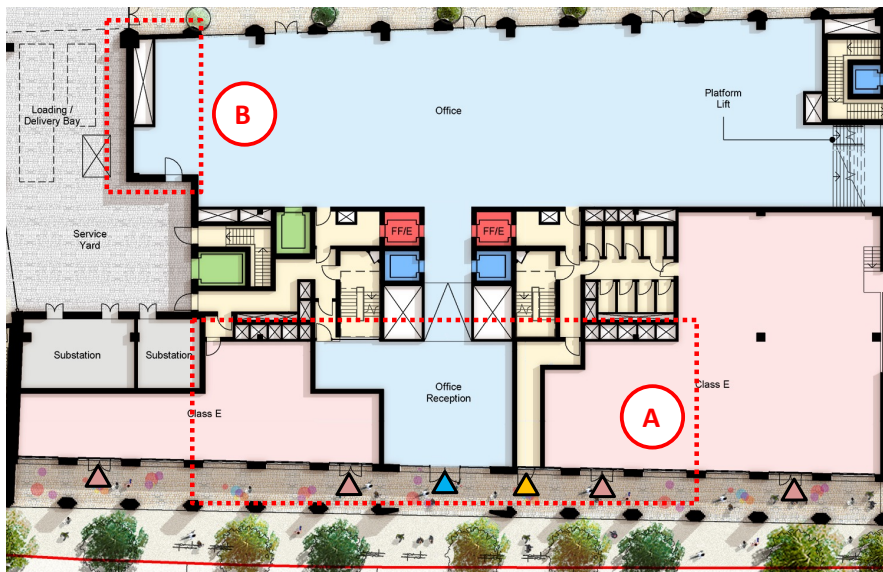
Kensington Church Street Building Updates

1). Amendments to GF Retail and Office layouts

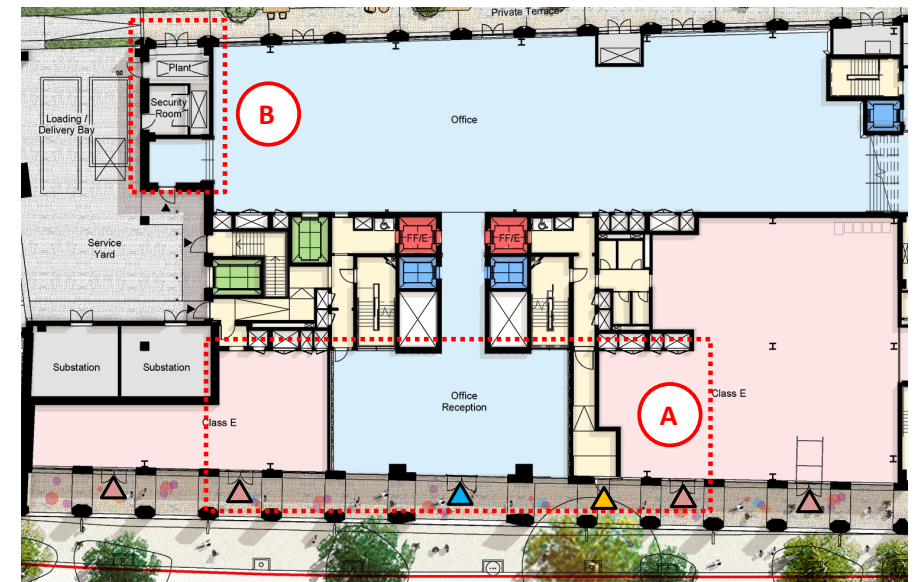
A. Increased KCS Office Reception to establish a reception space proportionate to office provision of the KCS building.

- Amendments improve visibility, wayfinding and activation along KCS colonnade frontage.
- Door locations for fire-egress and retail access have been amended.

B. Security room added to Loading / Delivery bay to monitor deliveries.



Consented Ground Floor plan

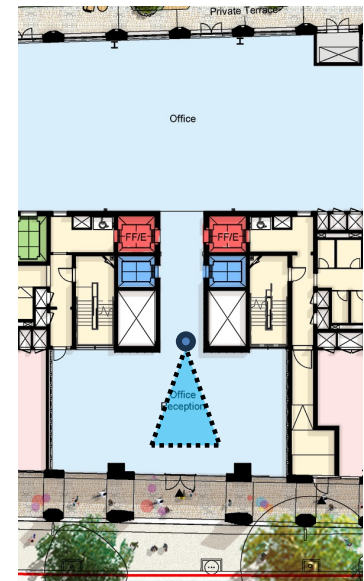


Revised Ground Floor plan

Kensington Church Street Building Updates



Proposed Visual to KCS Building Office Reception onto the colonnade frontage

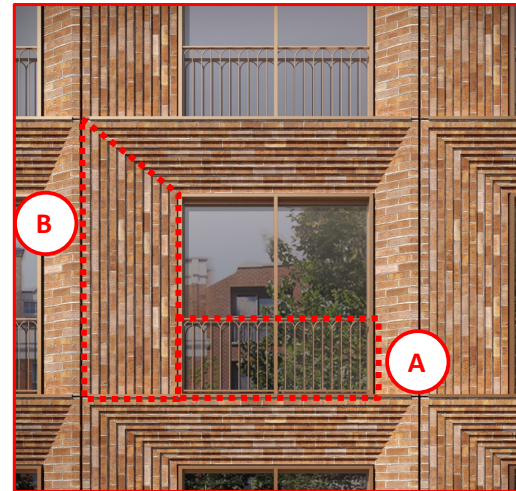


View location key plan

Kensington Church Street Building Updates

2). Principal façade updates

- A. Handrails reduced to openable window sections.
 - 'Lightens' architectural treatment of façade language across KCS frontage.
- B. Brickwork detailing amended with brick orientation changed to improve interfacing detailing.
- C. External doors at 5th floor terrace level amended to a double doorset.



Consented CGI bay study CGI



Revised CGI bay study



Consented principal elevation

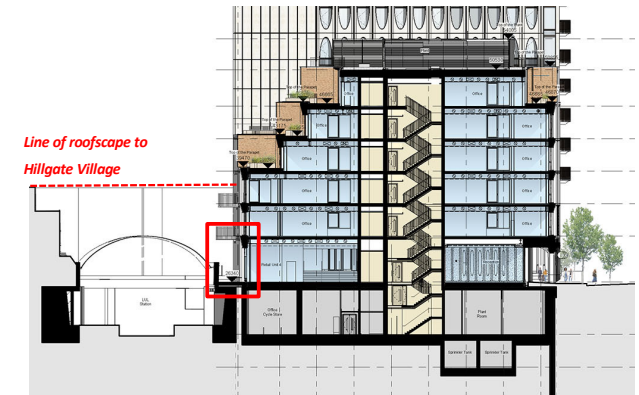


Revised principal elevation

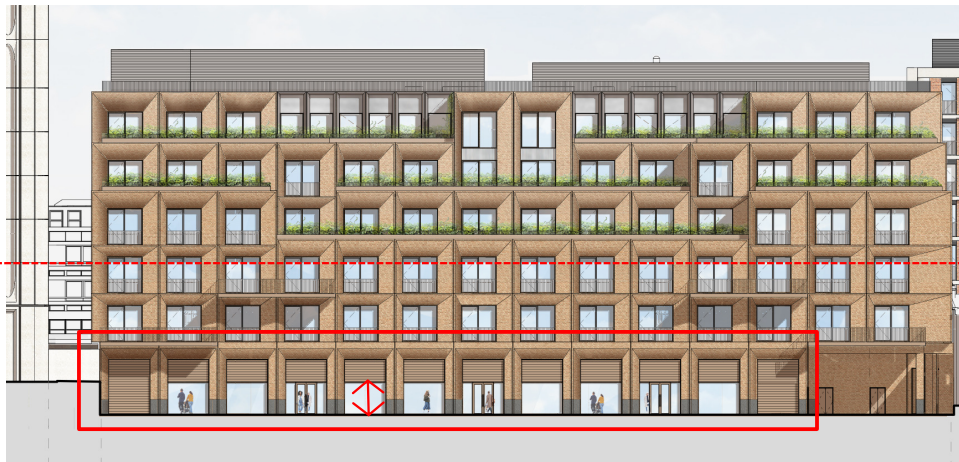
Kensington Church Street Building Updates

3). Updates to rear elevation:

- Similar handrail updates from previous slide.
- Improved glazing to louvre ratio to increase daylight onto internal floor area.
- Update to louvred sections to façade for air intake / extract to basement plant/
- Proposed changes are not visible from local townscape incl. Hillgate Village.



Proposed Cross Section



Consented rear elevation



Revised rear elevation

Kensington Church Street Building Updates

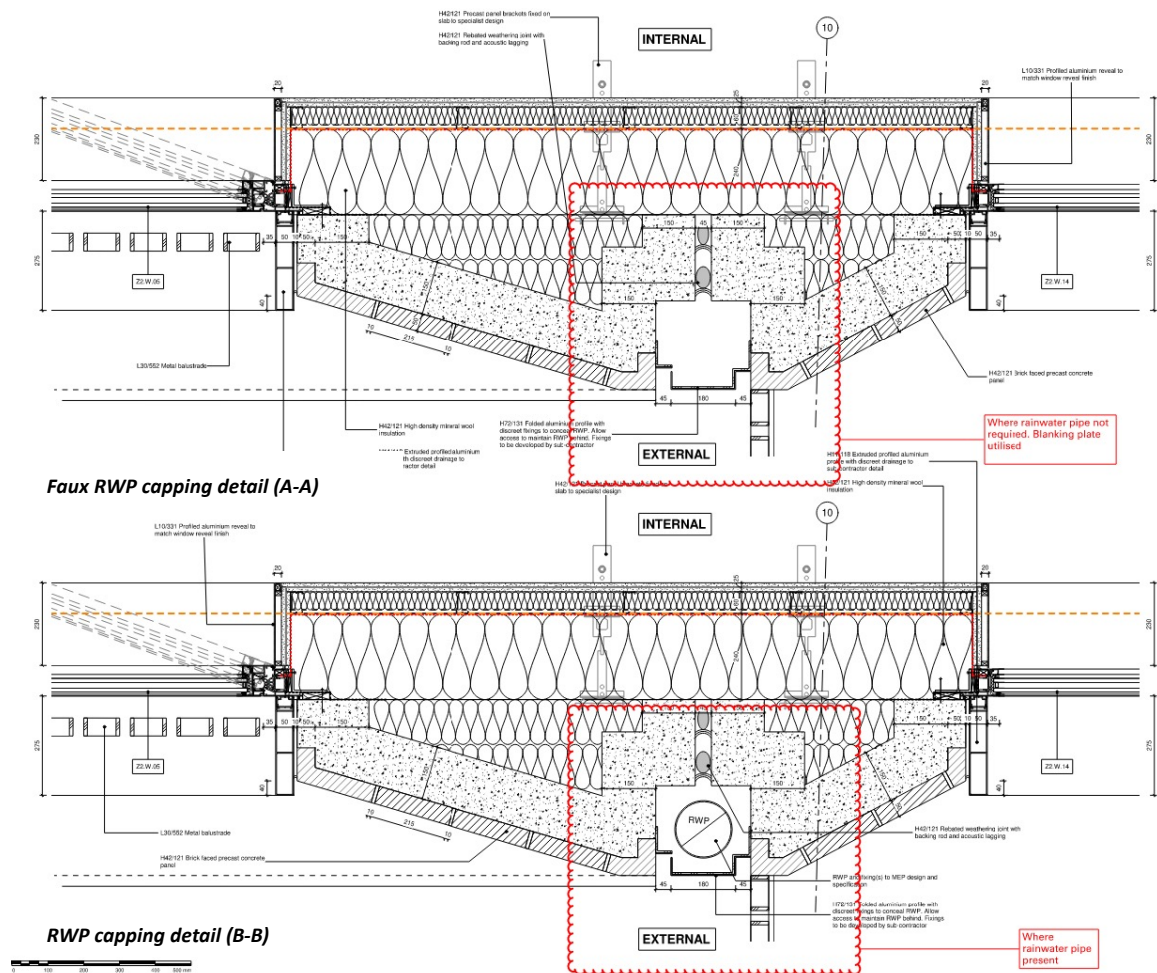
4). Introduction of external RWPs to rear elevation

- External RWPs introduced to the rear elevation of the KCS building to remove the risk of water ingress from rainwater drainage from the series of cascading terraces.
- The location and design of the RWPs, which are clad in pressed aluminium cappings, accentuate the modular design of the façades to the KCS building.
- Where RWPs are not located, addition vertical cappings have been introduced to ensure consistency within the façade's modular rhythm.
- The amended design enhances the architecture's modular expression to the rear elevation, whilst complimenting the townscape view from Hillgate Village.



KCS Building rear elevation with vertical cappings illustrated

Kensington Church Street Building Updates



KCS Building rear elevation with vertical cappings illustrated

Kensington Church Street Building Updates

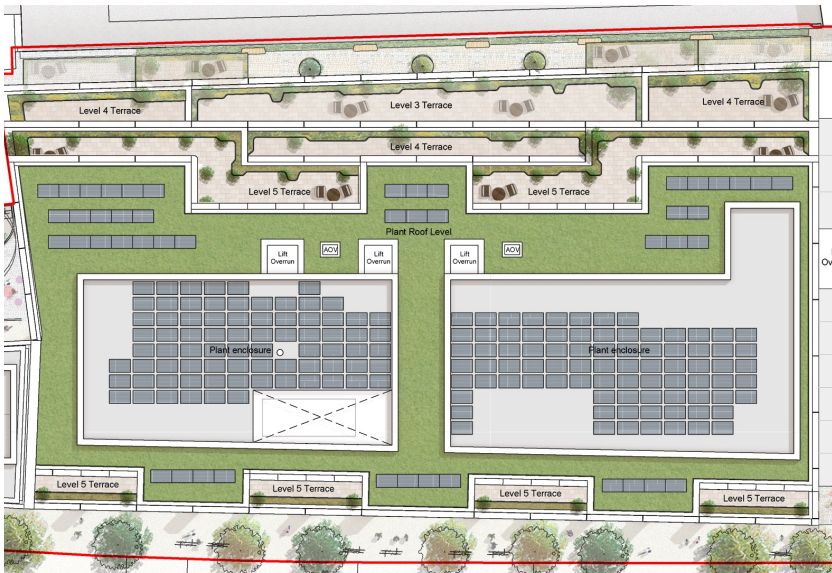
5). Development of PVs and ramp gantry at roof level:

A. Due to restraints on massing, roof access cannot be achieved via lift.

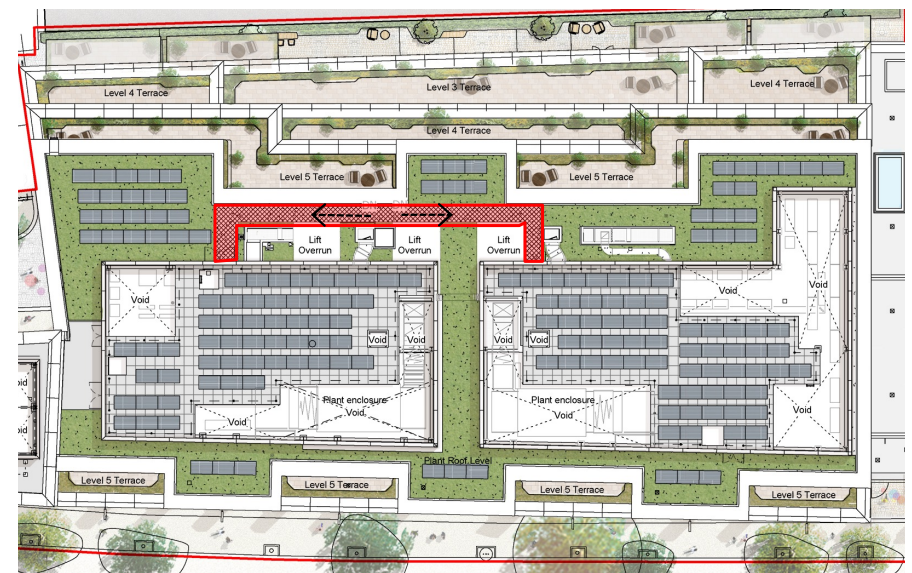
- Introduction of a gantry and ramps (indicated in red below) are therefore required to assist with level and safe access for the movement of replacement parts.

B. PV arrangement has been revised to accommodate MEP plant enclosure to suit free-area arrangements.

- No change to on-site energy provision / Part-L requirements.



Consented Roof plan



Revised Roof plan

Consented Scheme

Illustrative View from Hillgate Village



Revised Scheme

Illustrative View from Hillgate Village with updates incorporated



Kensington Church Street Building Façade Updates

6). Reduction in KCS Service Yard clear height:

- Development of high-level MEP services required within the service yard.
- Subsequently reduces the clear height from 4.5m to 4m clearance and concealed the required services within the ceiling.



Revised West Elevation to KCS Building

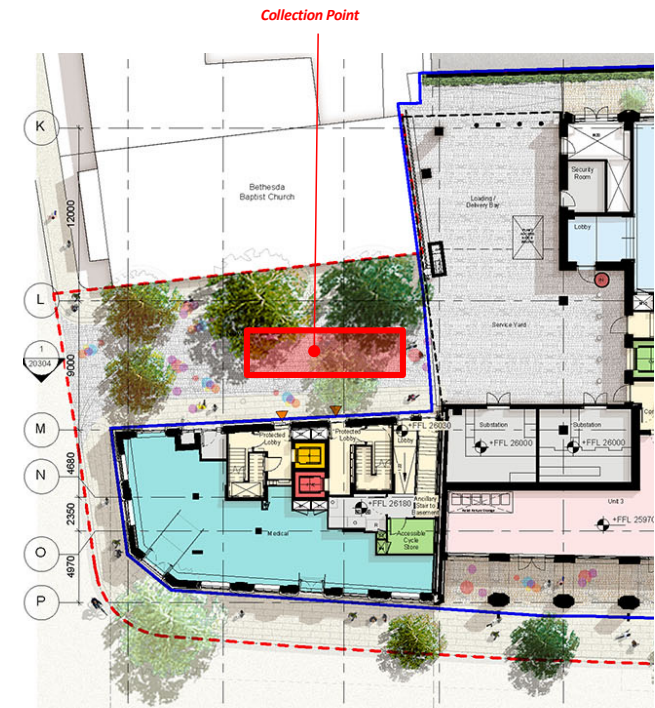


Consented Townscape View: Newcombe Street with Service Yard beyond

Kensington Church Street Building Façade Updates

Reduction in KCS Service Yard clear height: Service Strategy

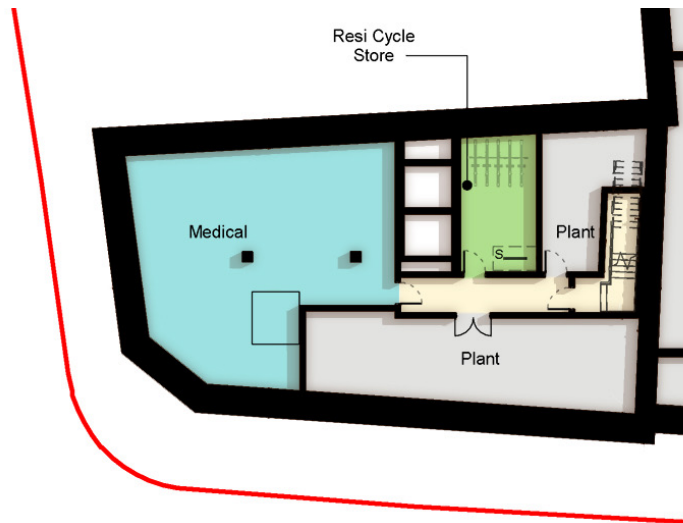
- The reduction in clear height results in a minor change to the waste collection strategy, with waste collection vehicles continuing to enter and exit the servicing yard in forward gear before being required to stop on Newcombe Street to operate the lifting mechanism when collecting eurobins.
- This new collection point will avoid any conflict between bins being lifted into the waste collection vehicle and the service yard ceiling.
- All other delivery vehicles will continue to use the service yard as per the consented scheme, stopping within the demarcated loading bays.



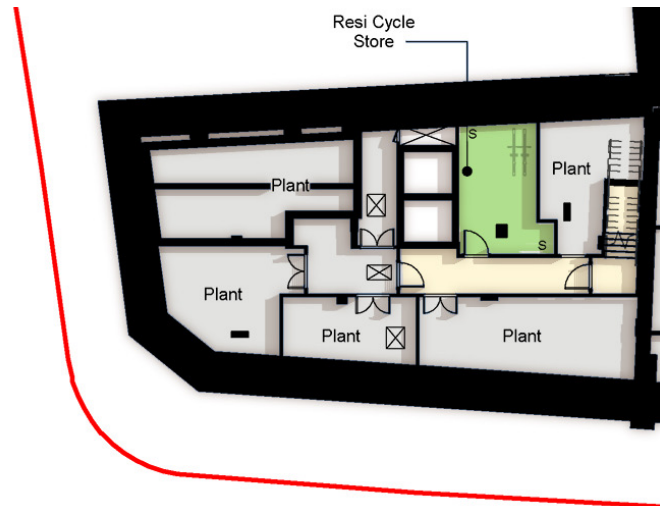
Resi / Medical Building Updates

1). Change of use at basement level

- Medical use has been omitted from basement level to accommodate life safety plant under new Building Safety Act.
- Revised medical GIA is complies with local policy in the provision of a minimum 650 sqm.



Consented B1 floor plan



Revised B1 floor plan

Resi / Medical Building Updates

2). Principle façade updates:

- A. Door relocated at ground floor level to medical unit to create symmetry and improve internal layout.
- B. Floor-to-floor heights to residential units have been increased to suit technical requirements and to ensure 2.5m clear internal heights are maintained.
- C. Change from granite to black brickwork for a residential vernacular that is appropriate to the local context.



Consented east elevation



Revised east elevation

Resi / Medical Building Updates

2). South façade updates:

- A. Omission of glazing to bathroom owing to inward opening windows for cleaning / maintenance.
- B. Increase to grillage above windows for mechanical ventilation requirements.
- C. Precast banding increased to accommodate blue roof provision.



Consented rear elevation

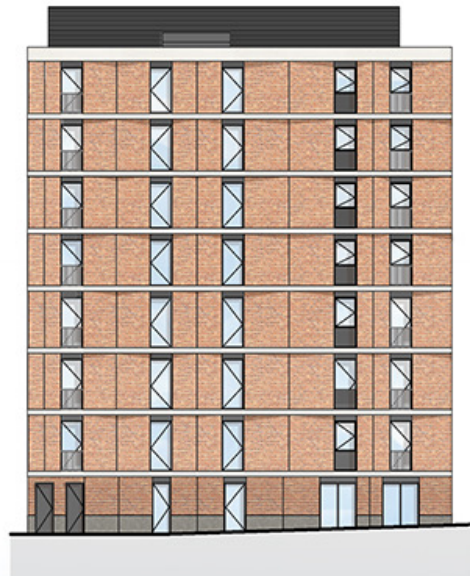


Revised rear elevation

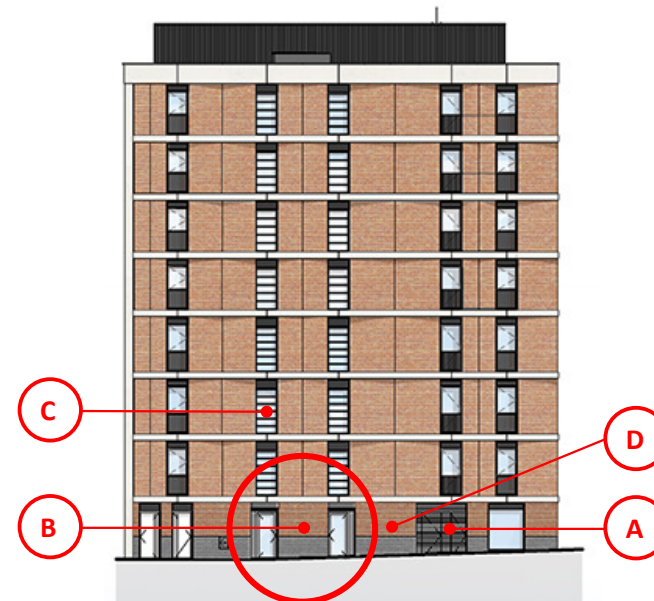
Resi / Medical Building Updates

2). Rear façade updates:

- A. Louvres introduced at ground level for necessary plant rooms for life-safety equipment.
- B. Canopies introduced to residential entrances with increased clear widths for improved accessibility.
- C. Glazing updated to fire-lobbies to accommodate AOV for smoke clearance to comply with regulatory requirements.
- D. Omission of faceted panelling at ground to improve security, as per SBD principles.



Consented rear elevation



Revised rear elevation

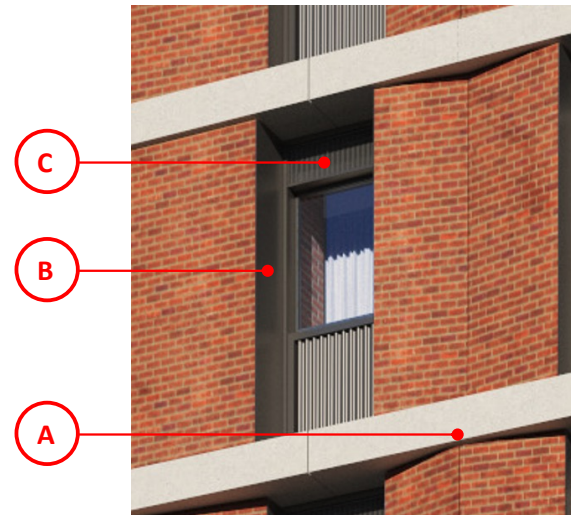
Resi / Medical Building Updates

2). Façade design updates

- A. Precast banding increased relative to clear floor-to-floor increases.
- B. Aluminium reveals introduced as part of façade technical developments.
- C. Grillage increased as part of mechanical free-area requirements.



Consented CGI visual



Revised CGI visual

Resi / Medical Building Updates

3). Increase to roof parapets and roof plant enclosure heights:

- Increase due to technical developments including provision for blue roof attenuation.

A. Plant enclosures raised +495mm

B. Roof parapet raised +490mm



Consented Scheme

Illustrative View from Kensington Church Street



Revised Scheme

Illustrative View from Kensington Church Street



SQUIRE & PARTNERS

Newcombe House

Minor Material Amendments Update Presentation

May 2025